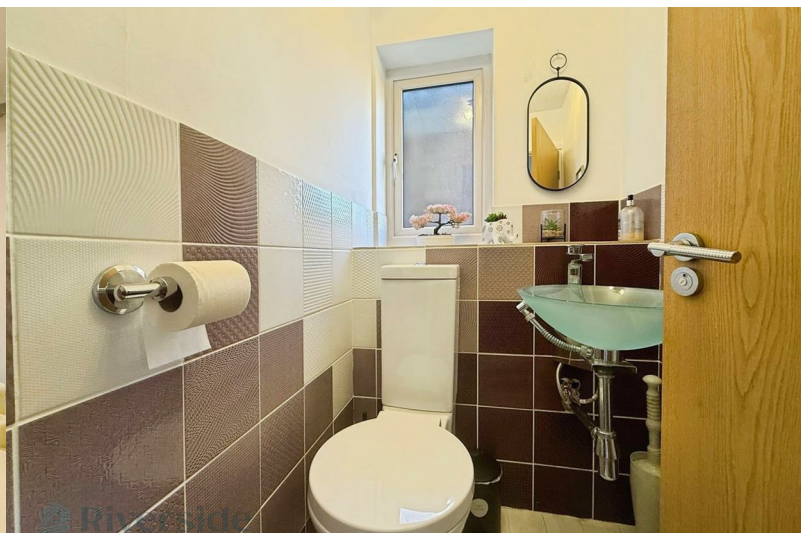




**6 Ha'penny Bridge Way**  
Hull, HU9 1HD

£340,000





# 6 Ha'penny Bridge Way

, Hull, HU9 1HD

£340,000



## Summary

Situated on the ever popular Victoria Dock is this immaculately presented, three bedroom detached home, set on a quiet cul-de-sac and close to Victoria Dock Primary School.

Formally a four bedroom home, upstairs has previously been reconfigured to create a larger main bedroom with en-suite shower room and separate dressing room. Offering ready to move into condition, this lovely property is ideal for a growing family, valuing a quiet location but close to local amenities, including shops, city centre and the primary school.

With gas central heating and UPVC double glazing throughout, the property briefly comprises; to the ground floor, welcoming entrance hallway, spacious lounge, modern dining kitchen and a conservatory to the rear with under floor heating.

To the first floor, a central landing, master bedroom with fitted furniture, dressing room/ walk-in wardrobe and en suite, two further bedrooms with fitted wardrobes and the family bathroom with a four-piece white suite.

Externally, the property has a gravelled garden to the front, driveway and garage to the side and the rear is enclosed and mostly laid to lawn with decking area for seating.

Early viewing highly recommended and can be arranged via our office.

## Ground Floor

### Entrance Hallway

Welcoming entrance into the property via UPVC double glazed door to the front, carpet flooring and radiator.

## WC

5'4" x 3'8" (1.63m x 1.13m)

Downstairs WC with UPVC double glazed window to the side. With low level WC, glass hand wash basin, part tiled walls and radiator.

## Lounge

14'7" x 12'0" (4.46m x 3.67m)

A spacious lounge to the front with two UPVC double glazed windows, carpet flooring and radiator.

## Kitchen Diner

9'8" x 22'9" (2.96m x 6.94m)

To the rear with UPVC double glazed window and French doors into the conservatory. Kitchen fitted with a range of base and wall mounted units, laminated worksurfaces and breakfast bar, inset stainless steel sink, inset four-ring gas hob with extractor over and built in oven and microwave. With space for a large family dining table, laminate flooring and radiator.

## Conservatory

16'1" x 9'11" (4.91m x 3.03m)

To the rear with UPVC double glazed windows and doors opening out to the garden, with laminate flooring and underfloor heating.

## Utility

5'4" x 4'8" (1.63m x 1.43m)

With UPVC double glazed window to the side, plumbing for washing machine and gas central heating boiler.

## First Floor

### Central Landing

With UPVC double glazed window to the side, carpet flooring and access to all bedrooms and family bathroom.

Tel: 01482 322411

### Bedroom One

11'1" x 11'1" (3.40m x 3.40m)

A generous master bedroom with two UPVC double glazed windows to the rear, fitted wardrobes for storage and king size bed, carpet flooring and radiator.

### Dressing Room

### En Suite

6'0" x 9'10" (1.83m x 3.02m)

Fitted with a three-piece suite, comprising low level WC, sink set upon vanity unit with storage, enclosed shower cubicle, heated towel rail and fully tiled walls.

### Bedroom Two

11'2" x 8'7" (3.41m x 2.63m)

With UPVC double glazed window to the front, fitted wardrobes for storage, carpet flooring and radiator.

### Bedroom Three

11'4" x 7'6" (3.47m x 2.30m)

With UPVC double glazed window to the front, fitted wardrobes, carpet flooring and radiator.

### Bathroom

8'2" x 8'0" (2.49m x 2.45m)

Fitted with a four-piece suite in white, comprising freestanding whirlpool bath, hand wash basin set upon freestanding unit, shower cubicle and low level WC. With

fully tiled walls, two UPVC double glazed windows to the side and heated towel rail.

### Externally

Outside, to the front is a gravelled garden, driveway and garage to the side, and the rear is an enclosed garden, mostly laid to lawn with decking area and decorative raised border.

### Council Tax Band

We have been advised the property is council tax band D, payable to Hull City Council.

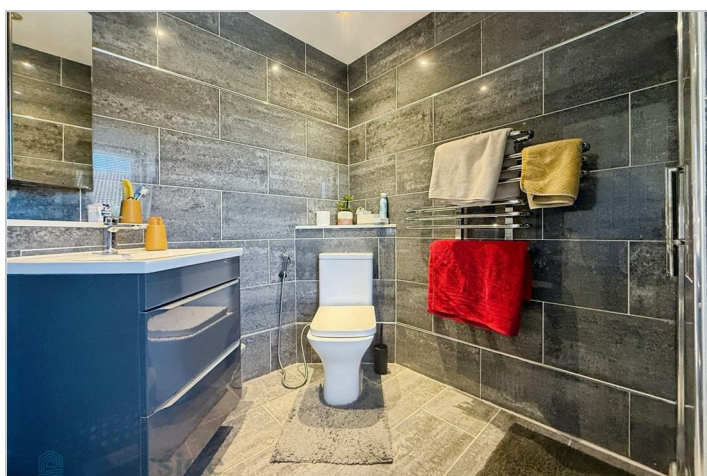
### ADDITIONAL INFORMATION

Tenure:

Freehold

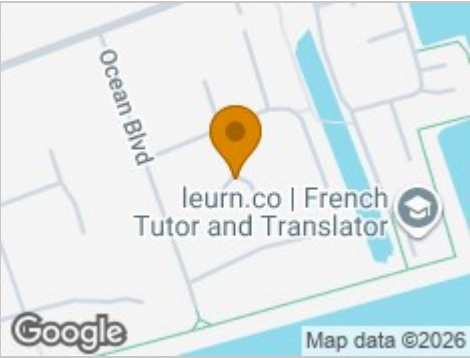
Disclaimer:

Any information in relation to the length of lease, service charge, ground rent and council tax has been confirmed by our sellers. We would advise that any buyer make their own enquiries through their solicitors to verify that the information provided is accurate and not been subject to any change.





Road Map



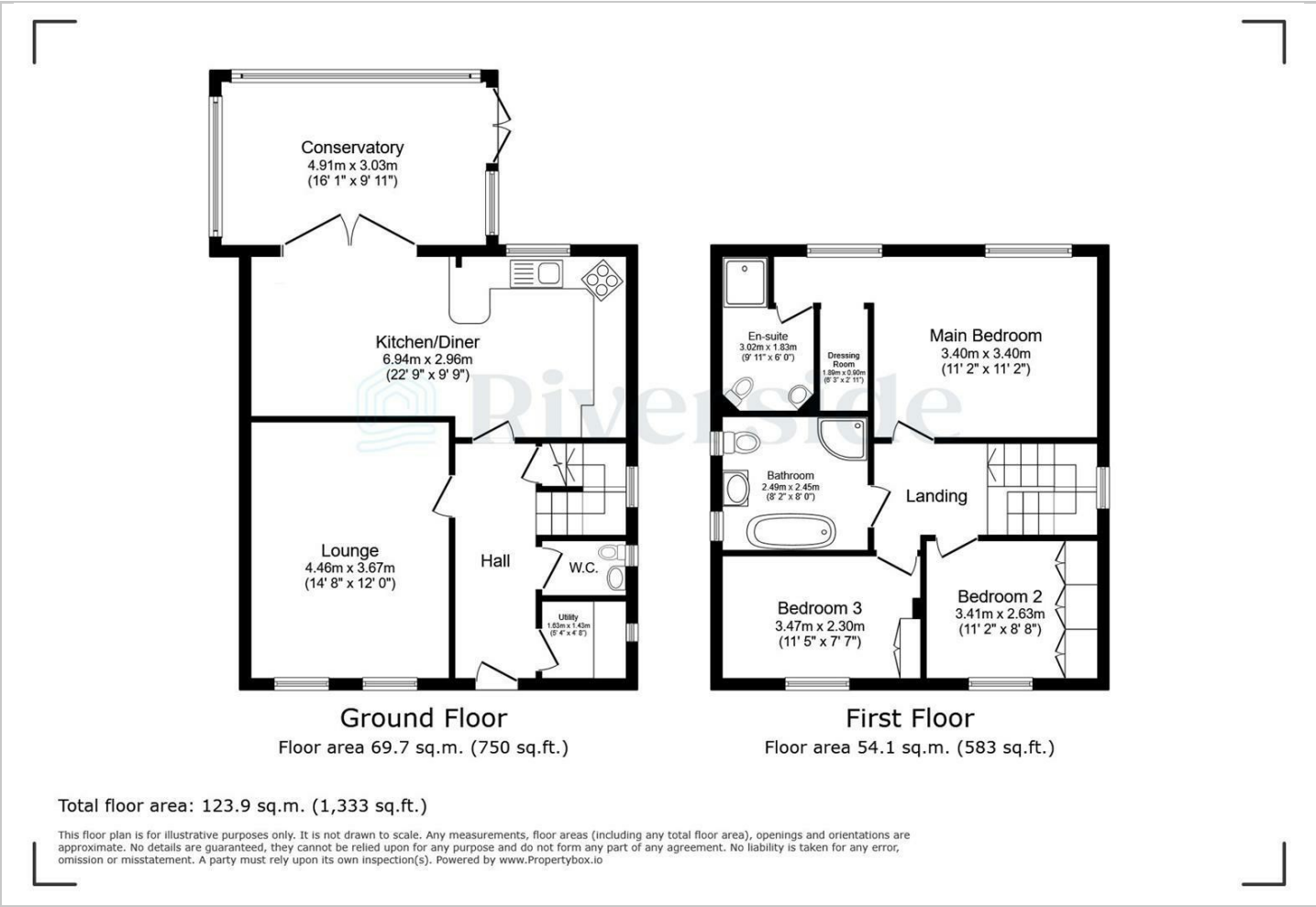
Hybrid Map



Terrain Map



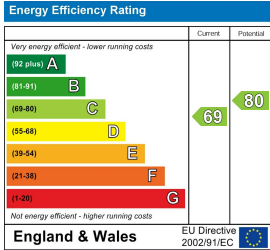
Floor Plan



Viewing

Please contact our Hull Office on 01482 322411 if you wish to arrange a viewing appointment for this property or require further information.

Energy Efficiency Graph



These particulars, whilst believed to be accurate are set out as a general outline only for guidance and do not constitute any part of an offer or contract. Intending purchasers should not rely on them as statements of representation of fact, but must satisfy themselves by inspection or otherwise as to their accuracy. No person in this firms employment has the authority to make or give any representation or warranty in respect of the property.